



Multifamily Property Tax Exemption

City of Tacoma | Community and Economic
Development Department

City Council Meeting

January 28, 2020


RES #40541, 40542 & 40543



OVERVIEW



- Resolution # 40541
- Oakes Landing LLC
- 2702 and 2708 N 8th Street
- 44 units
- 6th Ave Mixed Use Center



OVERVIEW

- 17 Studio Units
- 22 One Bedroom, One Bathroom
- 5 Two Bedroom, Two Bathroom
- 19 Residential Parking Stalls

3



OVERVIEW

Number of units	Type of Unit	Average Size	Expected Rental Rate
17	Studio	450 SQFT	\$975-\$1100
22	One bedroom, one bath	575 SQFT	\$1200-1700
5	Two bedroom, two bath	825 SQFT	\$2200-2400

4

Fiscal Implications

Taxes Exempted	
Projected Total Taxes to be Exempt by City over 8 years	\$174,000
Taxes Generated	
**Projected Total Sales Tax Generated for City over 8 years	\$306,000
***Projected Sales Tax generated for City by construction	\$94,000
- Total Projected Sales Tax generated	\$400,000

Location

- Tax Parcels
9100000460
9100000470

City of Tacoma | Proposed Property Tax Exemption Project
2708 & 2702 North 8th Street APN 9100000460 & 9100000470



OVERVIEW



- Resolution # 40542
- NMWC-1402, LLC
- 641 North Pine
- 6 units
- 6th Avenue Mixed Use Center

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OVERVIEW



- 4 Market Rate Studio Units
- 2 Affordable Rate Studio Units
- 1 Residential Parking Stall


8



OVERVIEW

Number of units	Type of Unit	Average Size	Expected Rental Rate
4	Market Rate Studio	450 SQFT	\$900
2	Affordable Studio	450 SQFT	\$900

9



Fiscal Implications

Taxes Exempted	
Projected Total Taxes to be Exempt by City over 8 years	\$19,700
Taxes Generated	
**Projected Total Sales Tax Generated for City over 12 years	\$62,800
***Projected Sales Tax generated for City by construction	\$7,000
- Total Projected Sales Tax generated	\$69,800

10

Location


- Tax Parcel
9100000010

City of Tacoma | Proposed Property Tax Exemption Project
641 N Pine Ave APN 9100000010



OVERVIEW

- Resolution # 40543
- Mackinnon Design & Development Corp
- 1009 S. 14th Street
- 4 units
- Downtown Regional Growth Center



OVERVIEW

- 1 Market Rate One Bedroom, One Bathroom
- 2 Market Rate Three Bedroom, Two Bathroom Units
- 1 Affordable One Bedroom, One Bathroom Unit.
- 2 Residential Parking Stalls

13



OVERVIEW

Number of units	Type of Unit	Average Size	Expected Rental Rate
1	Market Rate One bedroom, one bath	450 SQFT	\$800
1	Affordable One bed, one bath	450 SQFT	\$800
2	Market Rate Three bed, two bath	1700 SQFT	\$2200

14

Fiscal Implications

Taxes Exempted	
Projected Total Taxes to be Exempt by City over 8 years	\$19,700
Taxes Generated	
**Projected Total Sales Tax Generated for City over 12 years	\$62,800
***Projected Sales Tax generated for City by construction	\$7,000
- Total Projected Sales Tax generated	\$69,800

15

Location

- Tax Parcel
- 2013200100

City of Tacoma | Proposed Property Tax Exemption Project
1009 South 14th Street APN 2013200100



16



Multifamily Property Tax Exemption

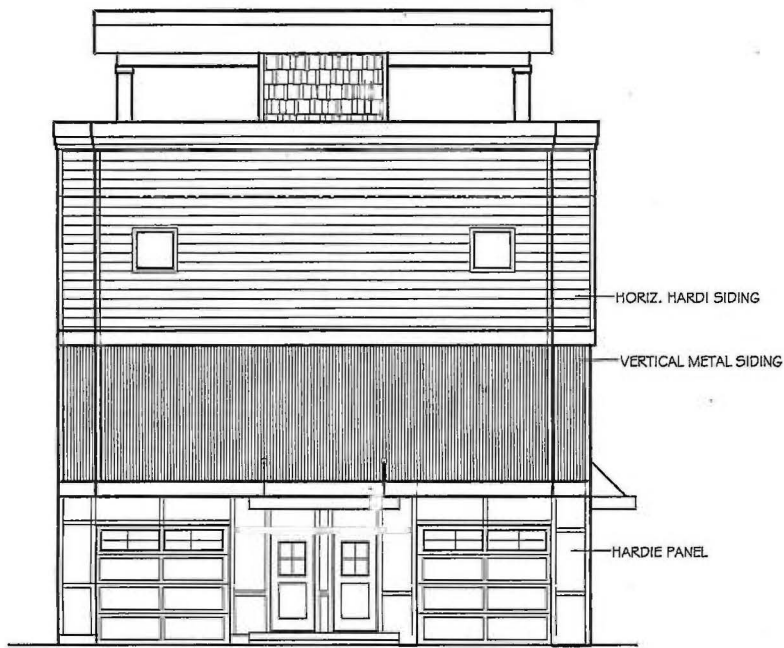
City of Tacoma | Community and Economic
Development Department

City Council Meeting

January 28, 2020

RES #40541, 40542 & 40543

1009 S. 14th



LEFT

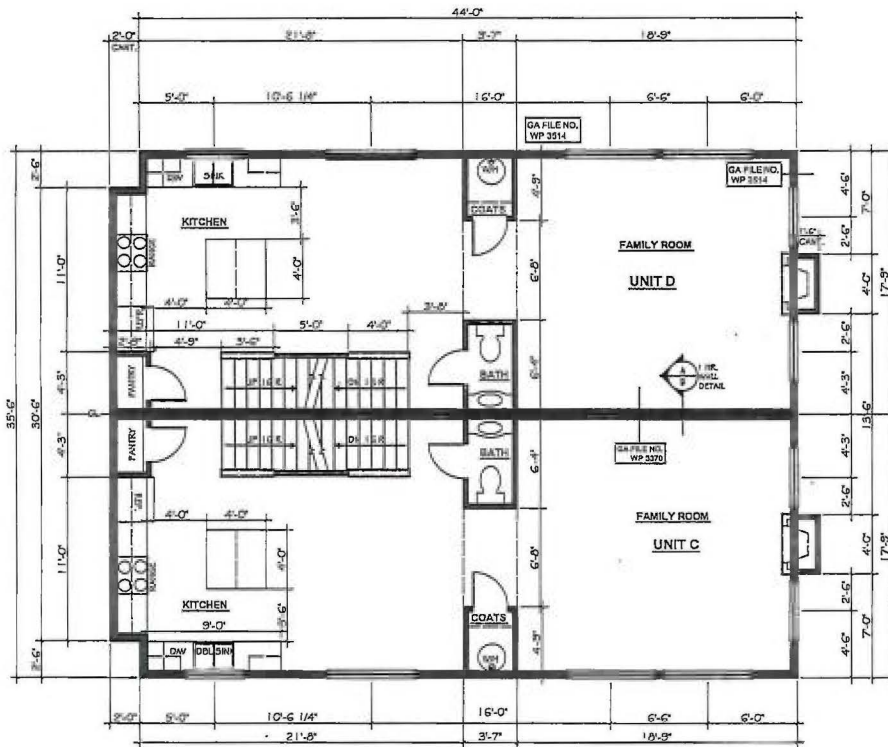


FRONT

EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"

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SECOND FLOOR PLAN

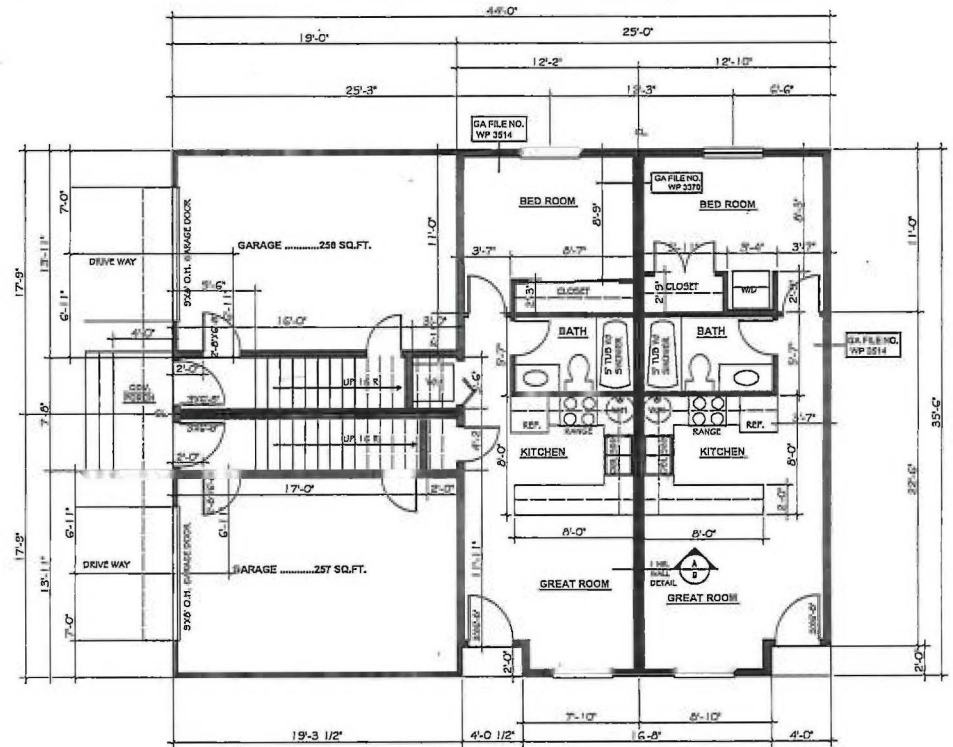
SCALE 1/4" = 1'-0"

UNIT C
FLOOR AREA

SECOND FLOOR.....847 SQ.FT.
THIRD FLOOR.....847 SQ.FT.
TOTAL.....1694 SQ.FT.

UNIT D
FLOOR AREA

SECOND FLOOR.....847 SQ.FT.
THIRD FLOOR.....850 SQ.FT.
TOTAL.....1697 SQ.FT.



UNIT A

FLOOR AREA450 SQ.FT.

UNIT B

FLOOR AREA448 SQ.FT.

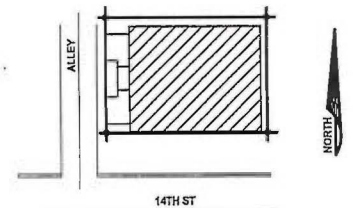
FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

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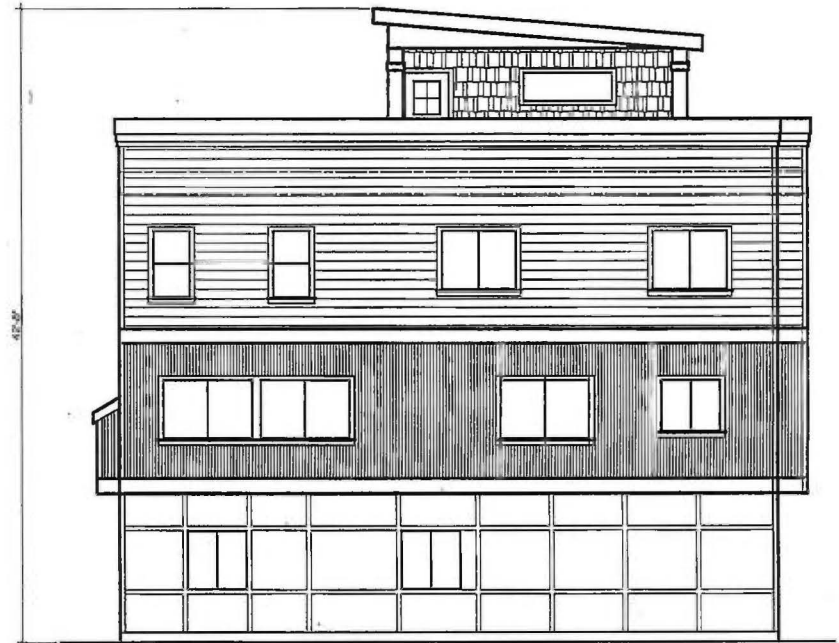
- ⊙ SMOKE DETECTOR
 - ⊙ CARBON MONOXIDE DETECTOR
- GENERAL NOTES:
1. ALL CONSTRUCTION SHALL COMPLY WITH IRC.
 2. HOT WATER HEATER COMPLY WITH REQUIREMENT OF ASHRAE 4 SHALL BE VENTED TO EXTERIOR.
 3. ALL EXHAUST FANS, DRYER VENTS AND RANGES TO BE VENTED TO EXTERIOR.
 4. THE SHOWER SURROUNDING TO BE WATER PROOF & ALL GLAZING TO BE SAFETY GLASS WITH IR TOP ABOVE SHOWER BUILT.
 5. ALL GLASS, GLAZING & SKYLIGHTS SHALL COMPLY WITH IRC.
 6. SMOKE DETECTOR SHALL MEET THE REQUIREMENTS OF IRC (110 VOLT, INTERCONNECTED)

NOTES:
THE GENERAL CONTRACTOR SHOULD CHECK AND VERIFY ALL DIMENSIONS.





RIGHT

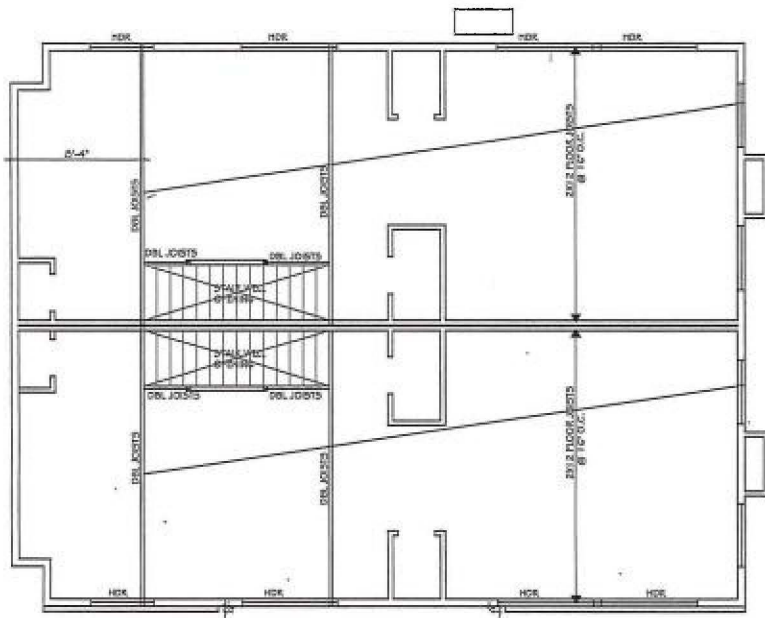


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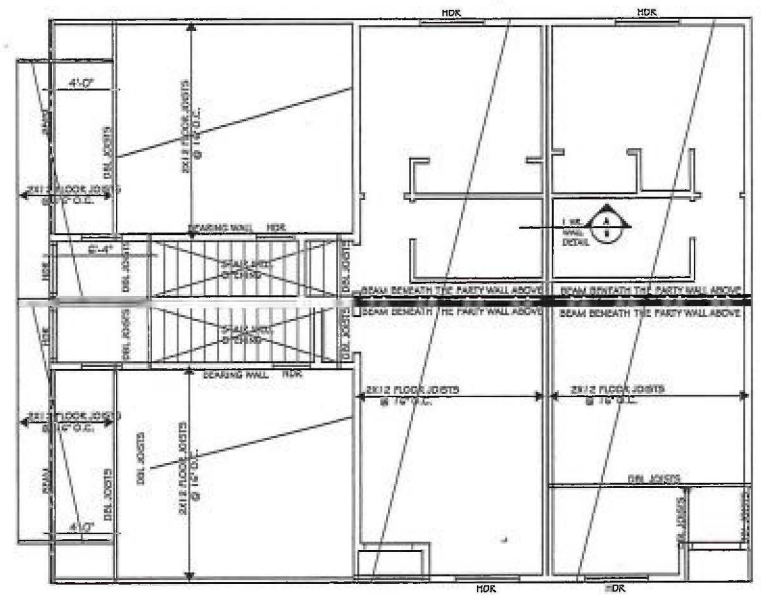
EXTERIOR ELEVATIONS

SCALE 1/4" = 1'-0"

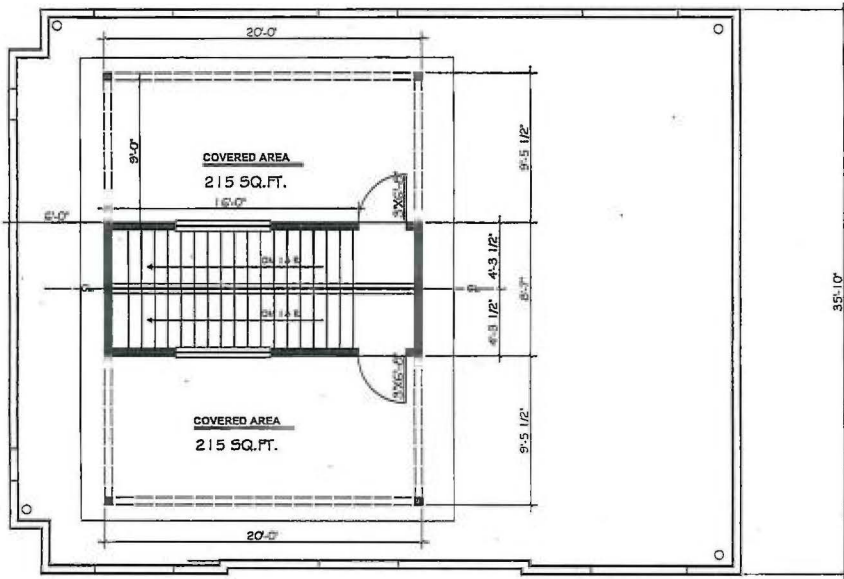
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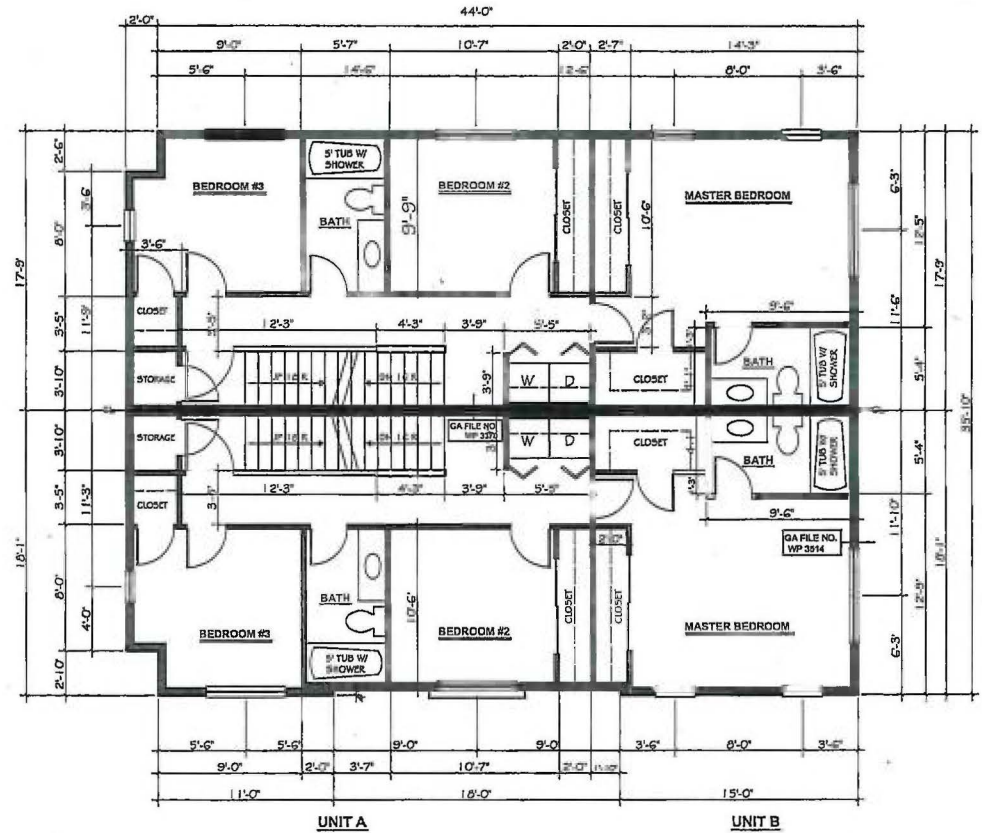
THIRD FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



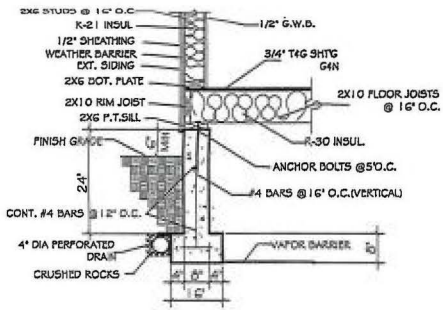
SECOND FLOOR FRAMING PLAN
SCALE 1/4" = 1'-0"



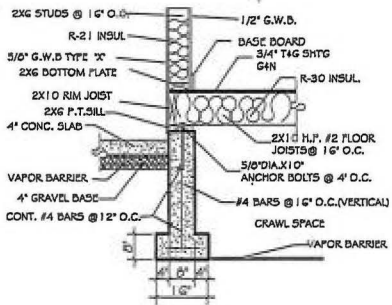
ROOF TOP PLAN
SCALE 1/4" = 1'-0"



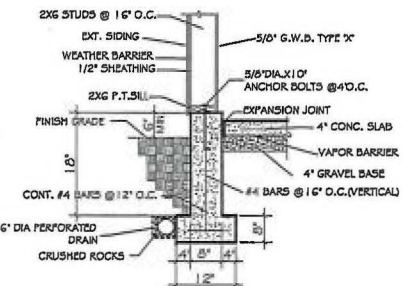
THIRD FLOOR PLAN
SCALE 1/4" = 1'-0"
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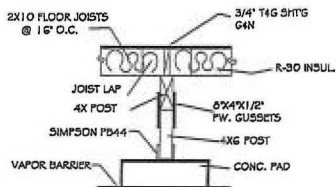
A
DETAIL



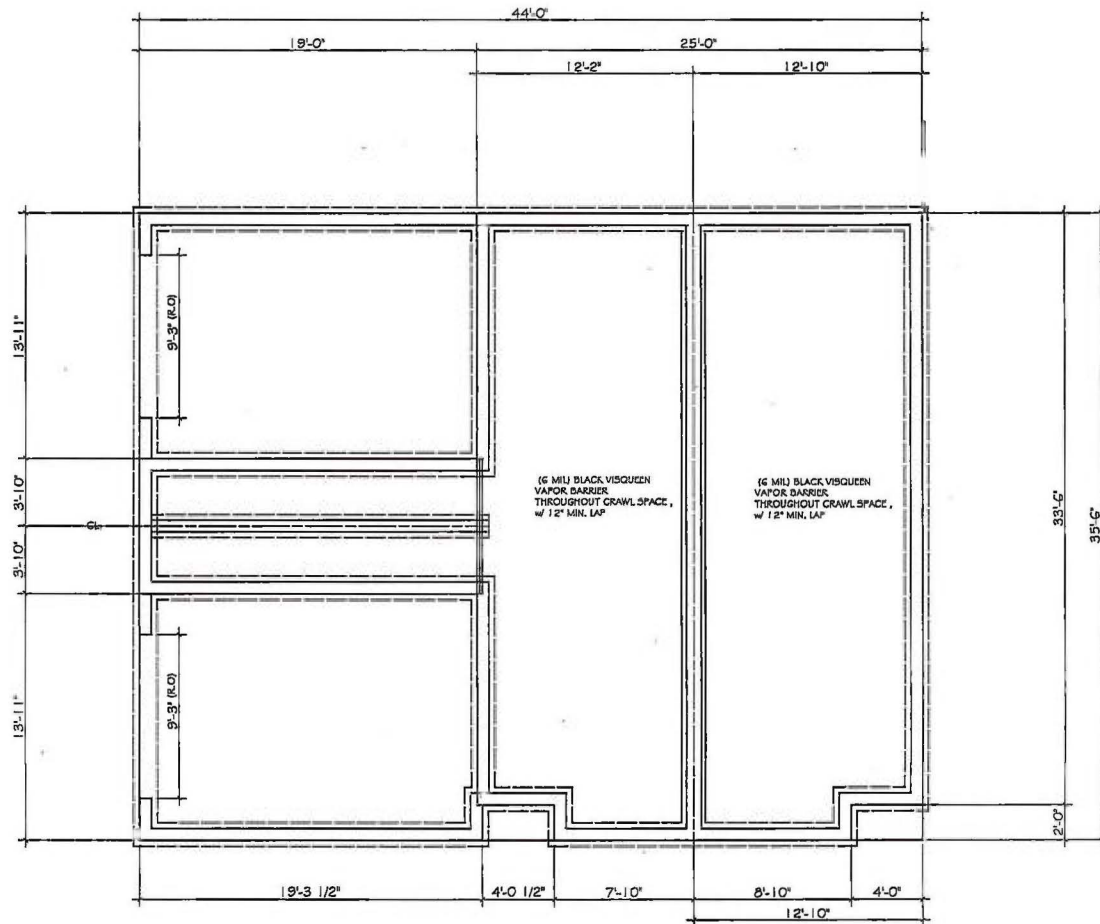
B
DETAIL



C
DETAIL

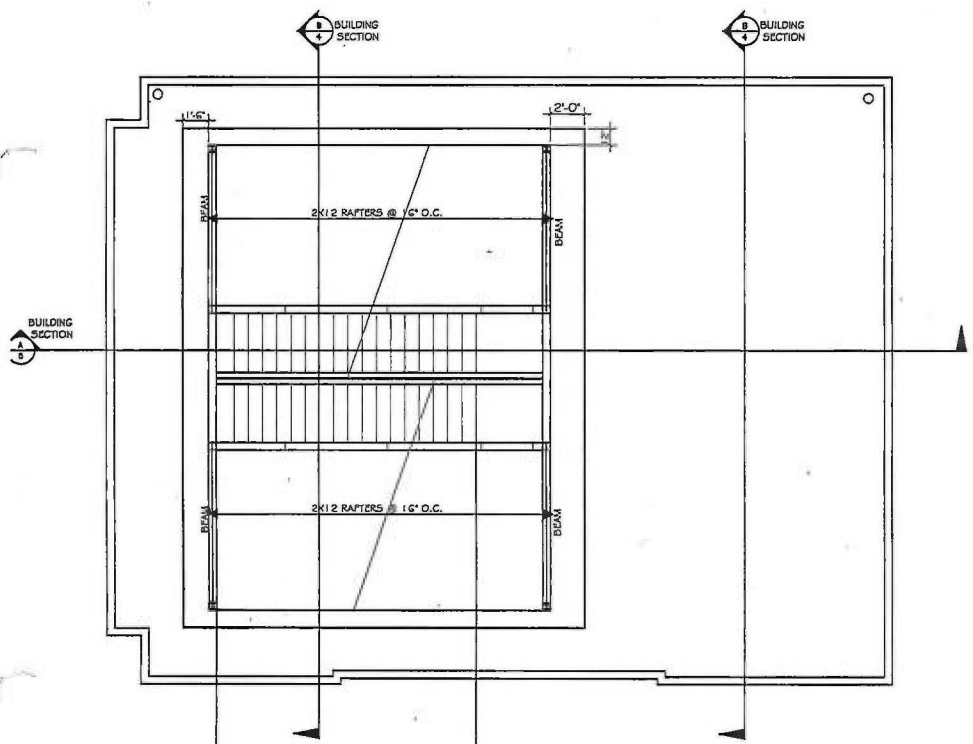


D
DETAIL

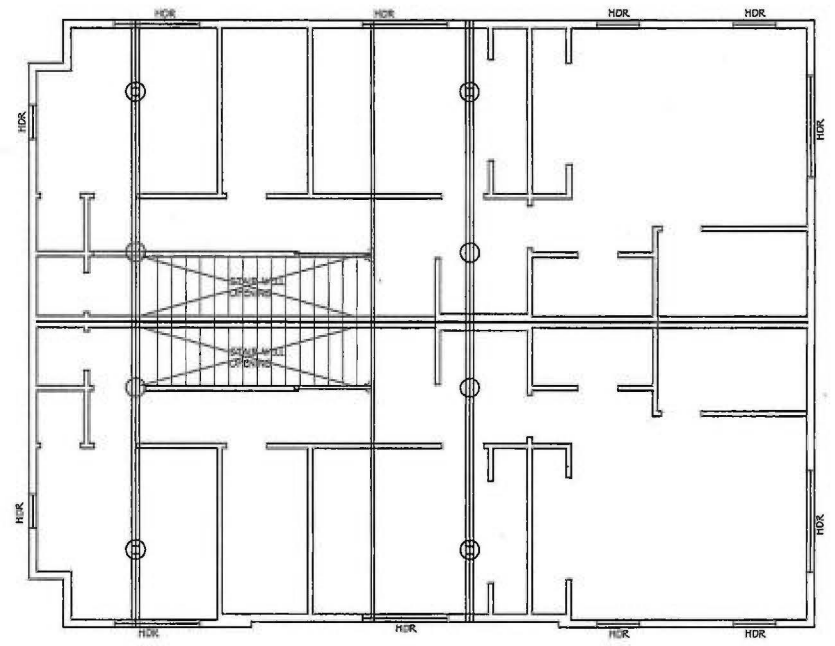


FOUNDATION PLAN

SCALE 1/4" = 1'-0"

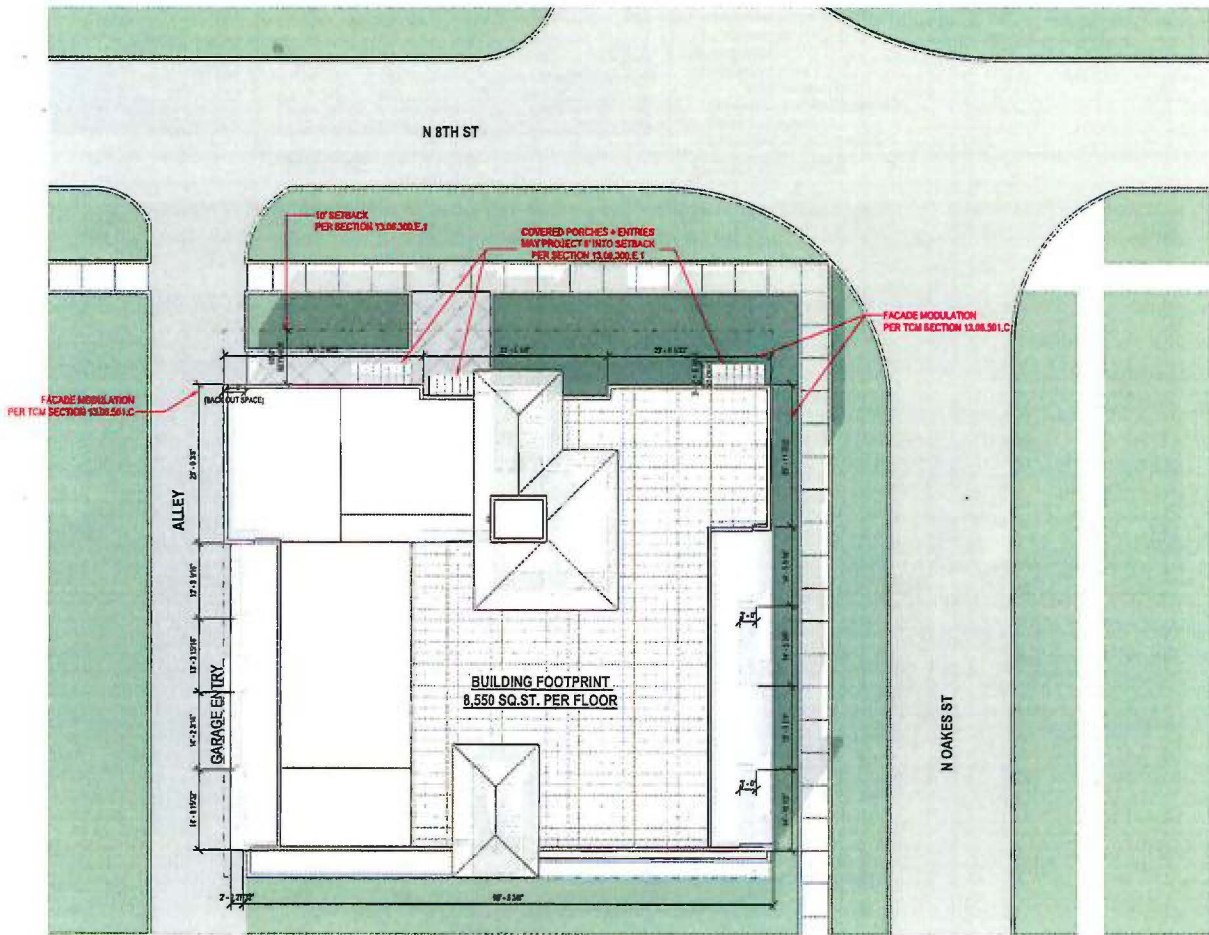


COVERED ROOF TOP FRAMING PLAN
 SCALE 1/4" = 1'-0"



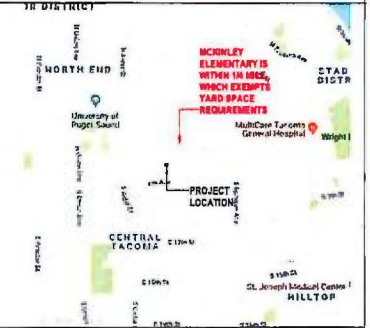
ROOF TOP FRAMING PLAN
 SCALE 1/4" = 1'-0"

1 | SITE PLAN
202' x 132'



GROSS AREA SCHEDULE PER FLOOR

VICINITY MAP



SITE PLAN SHEET NOTES

1. REFER TO THE CIVIL DRAWINGS FOR RELATED GRADING, FFE, AND UTILITY INFORMATION.
2. REFER TO THE LANDSCAPING DRAWINGS FOR PLANTING AND IRRIGATION DESIGN AS WELL AS SITE AMENITY FEATURES.
3. SEE ELECTRICAL DRAWINGS FOR SITE LIGHTING DESIGN (BODER DESIGN).
4. CONTRACTOR TO PROVIDE CUT SHEETS FOR ALL SITE WORK AMENITIES TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCING CONSTRUCTION.
5. CONCRETE SIDEWALK WORK SHALL INCLUDE PROVISION OF CONTROL JOINTS WITH PATTERNS AS INDICATED OR OTHERWISE AT NO GREATER THAN 6'-0".
6. CONTRACTOR SHALL CONFIRM FINISH CONTROL JOINT PATTERN AT FLATWORK LOCATED AT ALL BUILDING ENTRANCES PRIOR TO PERFORMING WORK.
7. SIDEWALK FINISHES SHALL BE "LIGHT DROOP" FINISH CONFORMING TO ACCESSIBILITY STANDARDS.
8. SEE CIVIL DRAWINGS FOR FLAT WORK GRADES AND CROSS SLOPES. CONTRACTOR SHALL REVIEW FINAL GRADING FOR ACCESSIBLE PEDESTRIAN PATHWAYS IN FIELD WITH ARCHITECT PRIOR TO POUL. ALL ACCESSIBLE PATH CONSTRUCTION SHALL STRICTLY ADHERE TO MAX GRADE AND CROSS SLOPES.
9. ALL COMPACT STALLS CALLED OUT WITH LARD, 10" (TYP), STANDARD SIZE STALLS ARE UNMARKED (TYP).
10. SIGNAGE SUBMITTAL TO FOLLOW UNDER SEPARATE PERMIT.



**JON GRAVES ARCHITECTS
& PLANNERS**
310 BUSHWAY, SUITE E
TACOMA, WA 98402
CJG/RSZ

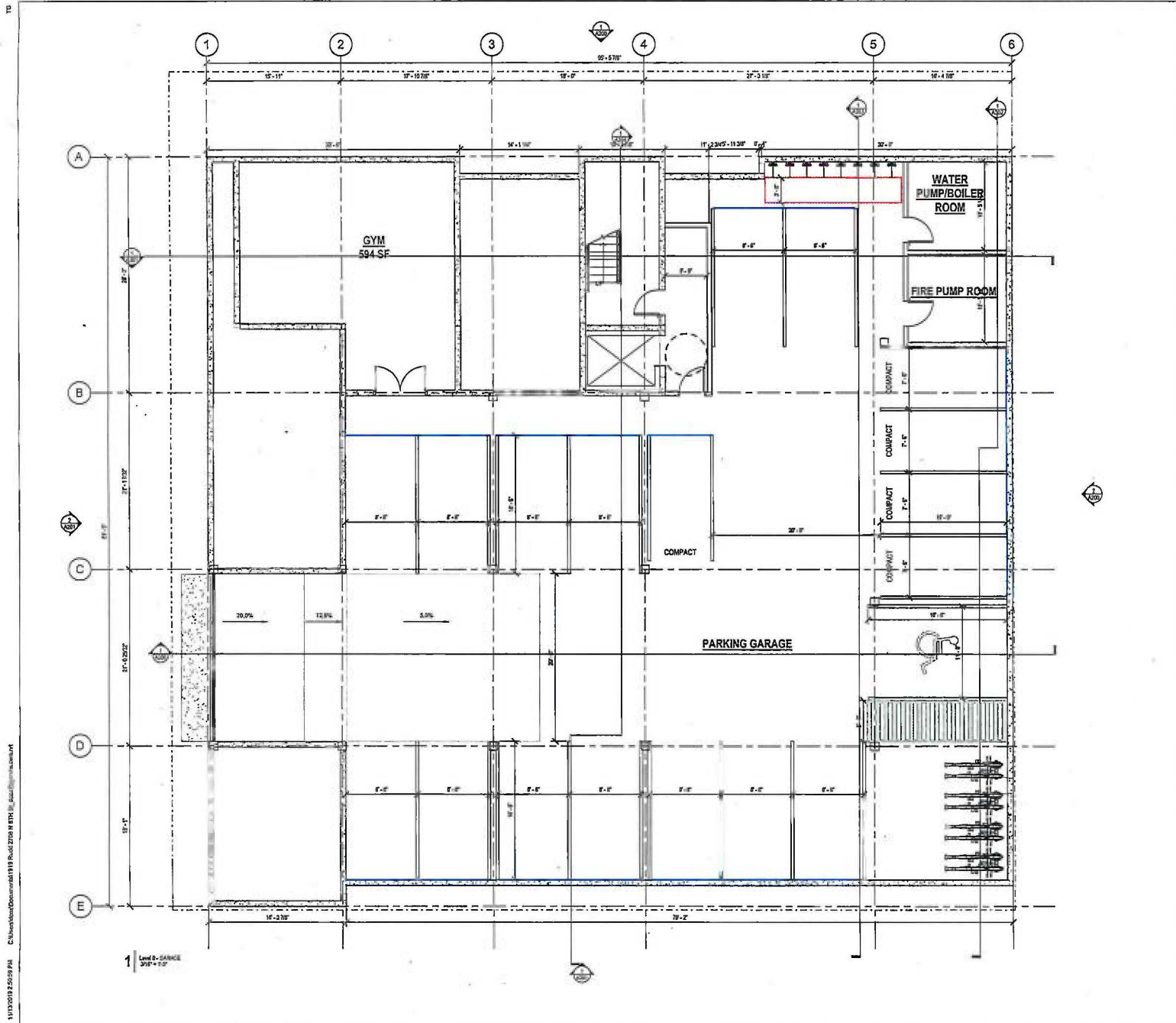


8TH STREET MULTIFAMILY
2708 N 8TH ST,
TACOMA, WA 98406

NO.	DESCRIPTION	DATE

**NOT FOR
CONSTRUCTION**





AREA SCHEDULE

Room Name	Area (SF)
GYM	594
WATER PUMP/BOILER ROOM	105
FIRE PUMP ROOM	105
PARKING GARAGE (Total)	43
- Standard Stalls	13
- Compact Stalls	4
- ADA Stalls	1
- Motorcycle Stalls	1
- Bicycle Stalls	13

PARKING COUNT

43 DWELLING UNITS X 1.0 STALL PER UNIT = 38 STALLS

EXEMPTIONS:

- MULTI-FAMILY DWELLINGS (250-450 SF IN SIZE) ARE EXEMPT FROM VEHICULAR PARKING REQUIREMENTS (PER TMC 1105.510)
- 15 UNITS QUALIFY
- 38 - 15 = 23 STALLS REQUIRED BY EXEMPTION

PARKING COUNT:

- STANDARD STALLS: 13
- COMPACT STALLS: 4
- ADA STALL (VAN): 1
- MOTORCYCLE STALL: 1

PROJECT NOTE: ~~THIS HAS 34 TOTAL PARKING STALLS, SO OKAY~~

PER TMC 1105.510: 21/2 SHORT & LONG-TERM BICYCLE PARKING

- LONG-TERM = 1 PER UNIT = 38 BICYCLE STALLS (LONG-TERM)
- 25% MIN GROUND LEVEL = 10 STALLS (LONG-TERM, GROUND LEVEL)
- SHORT-TERM = 1 PER 20 UNITS = 2 BICYCLE STALLS (SHORT-TERM)

FLOOR PLAN GENERAL NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE AS A CLEAR DIMENSION.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CONFLICTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR PRIMARY STRUCTURAL CONCRETE WORK, INCLUDING COLUMNS, SHEAR WALLS, THICKENED SLABS, ETC. NOT DESCRIBED HEREIN.
- SEE CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- SEE ENLARGED UNIT PLANS FOR INTERIOR DIMENSIONS AND INFORMATION.
- NOT ALL KEYNOTES ON EACH SHEET.
- DO NOT MEASURE DIMENSIONS TO DETERMINE OMITTED DIMENSIONS. CONTACT ARCHITECT.
- GOODS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE # 4 X 12 CEILING WALLS & ROOF WALLS, RESPECTIVELY FROM EDGE OF DOOR OPENING TO FINISH FACE OF ADJACENT WALL.
- PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
- ALL CONCRETE VISIBLE FROM PUBLICLY ACCESSIBLE SPACES TO ARCHITECTURALLY EXPOSED CONCRETE.
- IN ALL COMMON SPACES AND ADA ROADS, ALL LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND RECURSIVELY. SEE SHEET A09 FOR DIAGRAMS AND OTHER INFORMATION.



REUSE OF DOCUMENTS

JON GRAVES ARCHITECTS & PLANNERS
310 PIERCEWAY, SUITE 300
TACOMA, WA 98402
(206) 272-4214

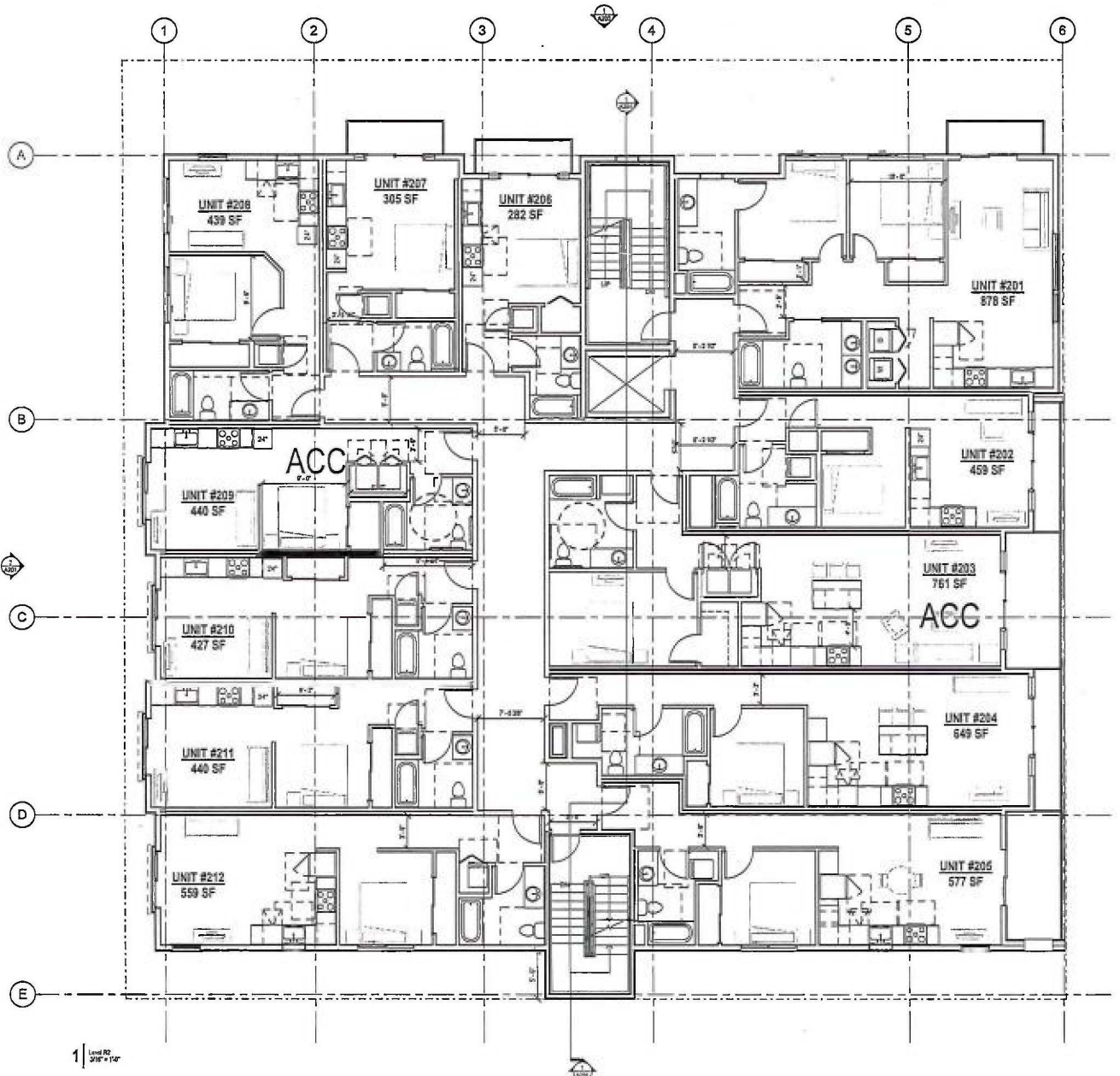
JGA

8TH STREET MULTIFAMILY
2708 N 8TH ST,
TACOMA, WA 98406

PROJECT NUMBER: 1819
DATE: 10/20/19
LEVEL: GARAGE FLOOR PLAN

NOT FOR CONSTRUCTION

A100



AREA SCHEDULE

Level	Name	Area	MGRO
Level B - GARAGE	FIRE PUMP ROOM	122 SF	
	GM	304 SF	
	PARKING GARAGE	5071 SF	
	WATER PUMP/BOILER ROOM	122 SF	
Level 1 - AT GRADE	FOYER	112 SF	
	LOBBY	216 SF	
Level RL - MEZZANINE	UNIT #101	618 SF	
	UNIT #102	458 SF	
	UNIT #103	758 SF	
	UNIT #104	645 SF	
	UNIT #105	577 SF	
	UNIT #106	524 SF	
Level R2	UNIT #107	458 SF	
	UNIT #108	458 SF	
	UNIT #201	878 SF	
	UNIT #202	459 SF	
	UNIT #203	761 SF	
	UNIT #204	649 SF	
Level R3	UNIT #205	577 SF	
	UNIT #206	439 SF	
	UNIT #207	305 SF	
	UNIT #208	282 SF	
	UNIT #209	440 SF	
	UNIT #210	427 SF	
	UNIT #211	440 SF	
	UNIT #212	559 SF	
	UNIT #301	618 SF	
	UNIT #302	458 SF	
	UNIT #303	761 SF	
	UNIT #304	649 SF	
Level R4	UNIT #305	577 SF	
	UNIT #306	439 SF	
	UNIT #307	305 SF	
	UNIT #308	282 SF	
	UNIT #309	440 SF	
	UNIT #310	427 SF	
	UNIT #311	440 SF	
	UNIT #312	559 SF	
	UNIT #401	618 SF	
	UNIT #402	458 SF	
	UNIT #403	761 SF	
	UNIT #404	649 SF	
Level R5	UNIT #405	577 SF	
	UNIT #406	439 SF	
	UNIT #407	305 SF	
	UNIT #408	282 SF	
	UNIT #409	440 SF	
	UNIT #410	427 SF	
	UNIT #411	440 SF	
	UNIT #412	559 SF	
	UNIT #501	618 SF	
	UNIT #502	458 SF	
	UNIT #503	761 SF	
	UNIT #504	649 SF	

FLOOR PLAN GENERAL NOTES

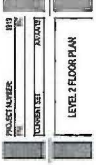
- ALL EXTERIOR WALL DIMENSIONS ARE TO FACE OF STUD, UNLESS NOTED OTHERWISE AS A CLEAR DIMENSION.
- GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. CORRECTIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- SEE STRUCTURAL DRAWINGS FOR PRIMARY STRUCTURAL CONCRETE WORK, INCLUDING COLUMNS, SHEAR WALLS, THICKENED SLABS, ETC. NOT DESCRIBED HEREIN.
- SEE CIVIL DRAWINGS FOR GRADING AND UTILITY INFORMATION.
- SEE ENLARGED UNIT PLANS FOR INTERIOR DIMENSIONS AND INFORMATION.
- NOT ALL KEYNOTES ON EACH SHEET.
- DO NOT MEASURE DRAWINGS TO DETERMINE DIMENSIONS. CONTACT ARCHITECT.
- DOORS NOT LOCATED BY DIMENSIONS ON PLANS OR DETAILS SHALL BE 4" x 10" METAL WALLS & WOOD WALLS, RESPECTIVELY FROM EDGE OF DOOR OPENING TO FINISH FACE OF ADJACENT WALL.
- PENETRATIONS THROUGH RATED ASSEMBLIES SHALL BE FIRE STOPPED.
- ALL CONCRETE VISIBLE FROM PUBLICLY ACCESSIBLE SPACES TO ARCHITECTURALLY EXPOSED CONCRETE.
- IN ALL COMMON SPACES AND ADA ROOMS: ALL LIGHTING CONTROLS, ELECTRICAL PANELBOARDS, ELECTRICAL SWITCHES AND RECEPTACLE OUTLETS, ENVIRONMENTAL CONTROLS, APPLIANCE CONTROLS, OPERATING HARDWARE FOR OPERABLE WINDOWS, PLUMBING FIXTURE CONTROLS, AND REQUIREMENTS. SEE SHEET A104 FOR DETAILS AND OTHER INFORMATION.



REUSE OF DOCUMENTS
 JON GRAVES ARCHITECTS
 & PLANNERS
 3100 BROADWAY SUITE
 1000
 TACOMA, WA 98406
 (253) 272-2424

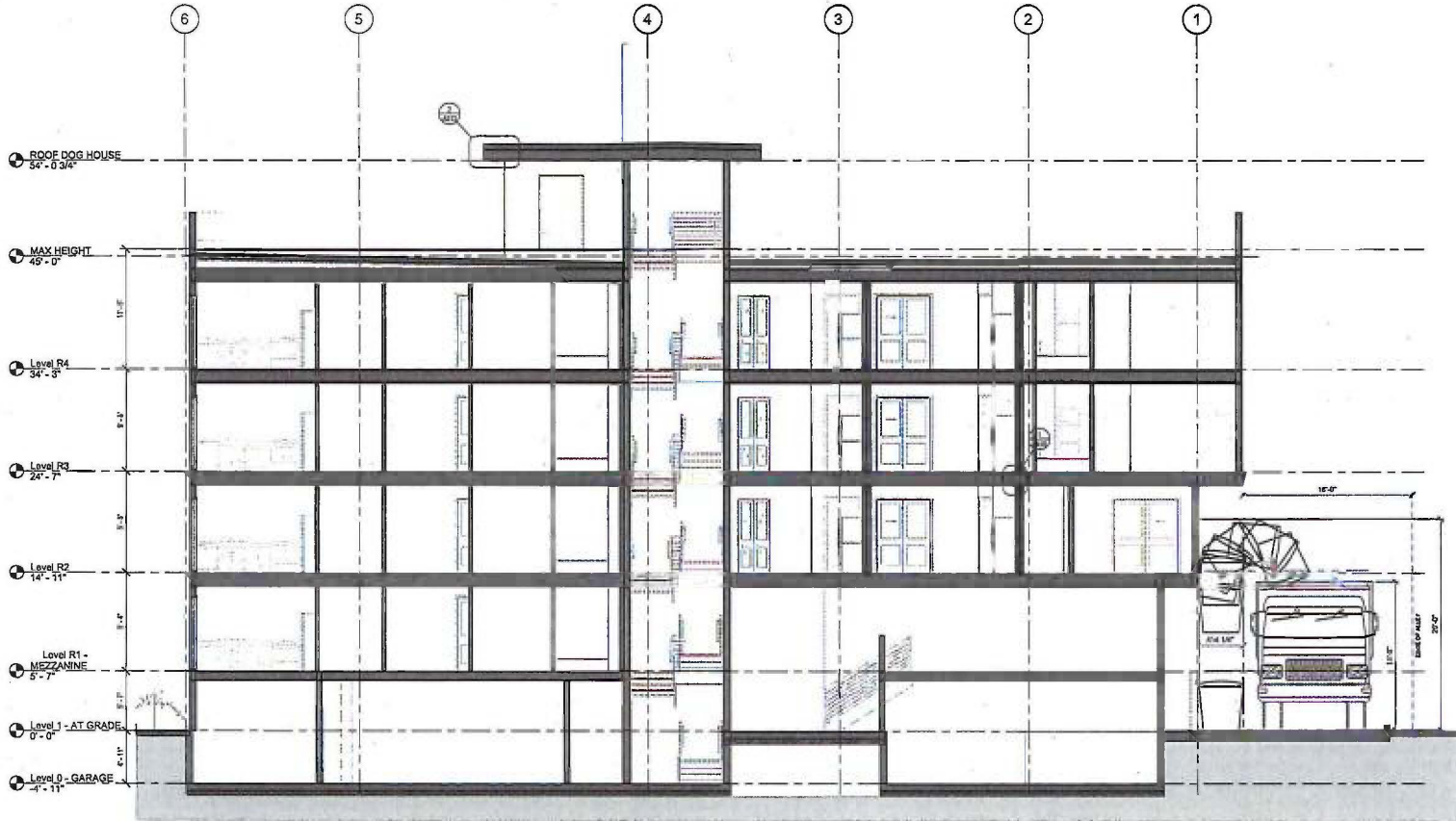


8TH STREET MULTIFAMILY
 2708 N 8TH ST.
 TACOMA, WA 98406



NOT FOR CONSTRUCTION

Sheet
A103
 Level 206 to 212



1 BUILDING SECTION - ELEVATOR
3/8" = 1'-0"

SECTION GENERAL NOTES

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JON GRAVES ARCHITECTS & PLANNERS
310 BOSTON HWY. SUITE 100
TACOMA, WA 98402
(253) 721-6411

IGA

8TH STREET MULTIFAMILY
2708 N 8TH ST.
TACOMA, WA 98406

DATE	DESCRIPTION	BY	CHKD

PROJECT NUMBER: 1919
DATE: 11/13/2019
REPORT BY: JGARCIA
BUILDING SECTIONS

SECTION SHEET NOTES

1. SEE ALL DRAWINGS FOR CALLOUTS IN COMMON. THE DRAWINGS DO NOT ANNOTATE ALL OCCURRENCES OF ELEMENTS FOR CONSTRUCTION. SUFFICIENT INFORMATION HAS BEEN PROVIDED TO PRECISELY CONSTRUCT THE PROJECT. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE ARCHITECT'S DESIGN INTENT IN AREAS THAT ARE NOT FULLY DETAILED.
2. FOR INFORMATION REGARDING THE MAXIMUM BUILDING HEIGHT DATA, AS APPLICABLE, REFER TO THE LONGITUDINAL BUILDING SECTIONS TAKEN FROM THE EAST TO THE WEST. THESE SECTIONS BEST ILLUSTRATE THE PLANE THAT ESTABLISHES THE MAXIMUM HEIGHT DATA.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROVISION OF SUBMITTED SHOP DRAWINGS OR SKETCHES (SCS) TO CONFIRM APPLICABLE PRE-FINISHED METAL PRODUCTS & ASSIGNED COLORS.
4. WHERE PRODUCTS ARE NOT IDENTIFIED AS PRE-FINISHED, PRODUCTS SHALL BE FIELD AND OR SHOP-PAINTED UTILIZING ARCHITECT PROVIDED MANUFACTURERS AND COLORS.
5. WHERE SEALANTS ARE USED AND EXPOSED, SUCH PRODUCTS AND COLOR OPTIONS SHALL BE PRE-APPROVED BY THE ARCHITECT. SEALANTS USED SHALL BE COMPLIANT W/ THE 2015 WASHINGTON STATE ENERGY CODE.
6. SEE ROOF PLAN SHEETS FOR DOWNSPOUT LOCATIONS.



Sheet: A301

DATE: 11/13/2019



PINE STREET 6 PLEX APARTMENT



VICINITY MAP:



PROJECT LOCATION



NORTH

OWNER:

WILLIAM TOWEY
919 SOUTH 9TH STREET
TACOMA, WA. 98405

ENGINEER:

SITTS & HILL
ENGINEERS, INC.
CIVIL • STRUCTURAL • SURVEYING
4815 CENTER STREET | TACOMA, WA, 98409
PHONE: (253) 474-9449 | FAX: (253) 474-0153
www.sittshill.com
CONTACT: LARRY G. LINDELL, P.E.

DRAWING INDEX:

T1.0	COVER SHEET / INDEX OF DRAWINGS
T1.1	FENCINGS
T1.2	LANDSCAPING
T1.3	COLOR SCHEDULE ELEVATIONS
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A1.2	OVERALL 1ST FLOOR PLAN
A1.3	OVERALL 1ST FLOOR REFLECTED CEILING PLAN
A1.4	EXTERIOR ELEVATIONS
A1.5	BUILDING SECTIONS
A1.6	INTERIOR ELEVATIONS
A1.7	WALL SECTIONS
A1.8	INTERIOR DETAILS
A1.9	EXTERIOR DETAILS
A1.10	SCHEDULES
S1.1	GENERAL STRUCTURAL NOTES
S1.2	LEVEL 1 FOUNDATION PLAN AND LEVEL 2 FLOOR FRAMING PLAN
S1.3	LEVEL 3 FLOOR FRAMING PLAN AND ROOF FRAMING PLAN
S1.4	FOUNDATION DETAIL
S1.5	FRAMING DETAIL
S1.6	FRAMING DETAIL

SITE MAP:



PROJECT LOCATION

PROPOSED BUILDING



NORTH

PROJECT INFORMATION:

LOCATION ADDRESS - 641 N. PINE STREET
 PARCEL NUMBERS - XXXXXXXXXXXXXXXXX
 TYPE OF BUSINESS - XXXXXXXXXXXXXXXXX
 SITE AREA - XXXXXXXXXXXXXXXXX
 BUILDING AREA - XXXXXXXXXXXXXXXXX
 SCOPE OF WORK - XXXXXXXXXXXXXXXXX
 CONSTRUCTION TYPE - XXXXXXXXXXXXXXXXX

NO. REVISED	DATE	BY	REASON

SITTS & HILL
ENGINEERS, INC.
CIVIL • STRUCTURAL • SURVEYING
4815 CENTER STREET | TACOMA, WA, 98409
PHONE: (253) 474-9449 | FAX: (253) 474-0153
www.sittshill.com

WILLIAM TOWEY
919 SOUTH 9TH STREET
TACOMA, WA 98405

PINE STREET 6 - PLEX
641 N. PINE STREET
TACOMA, WA 98409
COVER SHEET /
INDEX OF DRAWINGS

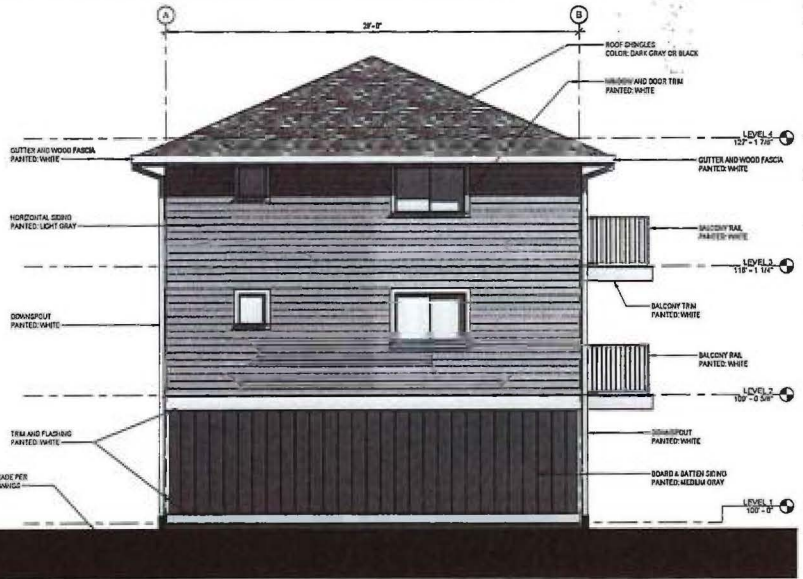
T1.0
PROJECT NO.
18605

A EXTERIOR RENDERING
Scale: 1/8" = 1'-0"

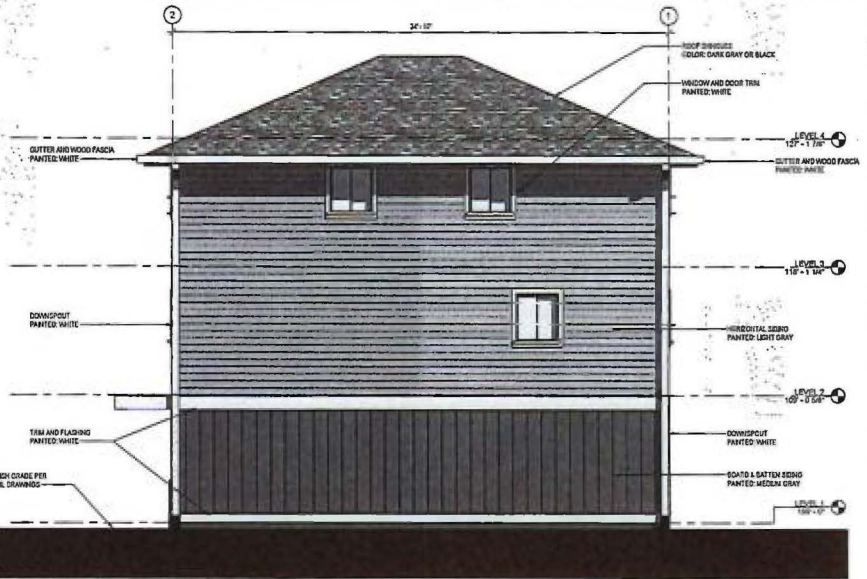


PROJECT PINE STREET 6 - PLEX 641 N. PINE STREET TACOMA, WA 98406 SHEET TITLE RENDERINGS	PREPARED FOR WILLIAM TOWEY 919 SOUTH 9TH STREET TACOMA, WA 98405	PREPARED BY SITTS & HILL ENGINEERS, INC. CIVIL • STRUCTURAL • SURVEYING 4110 CENTER STREET TACOMA, WA 98403 PHONE: (252) 474-5418 FAX: (252) 474-4193 <small>303 Perry Hill Road</small>	SCALE +	APPROVAL DRAFTER _____ EJM ENGINEER _____ ECR ARCHITECT _____ LCL DATE 09/25/13 SCALE AS NOTED	REVISIONS _____ _____ _____ _____
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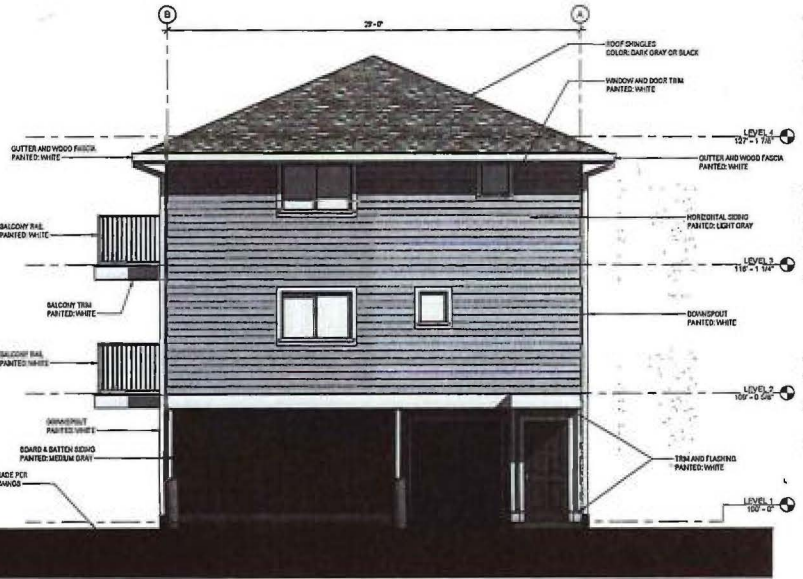
T1.1
18605



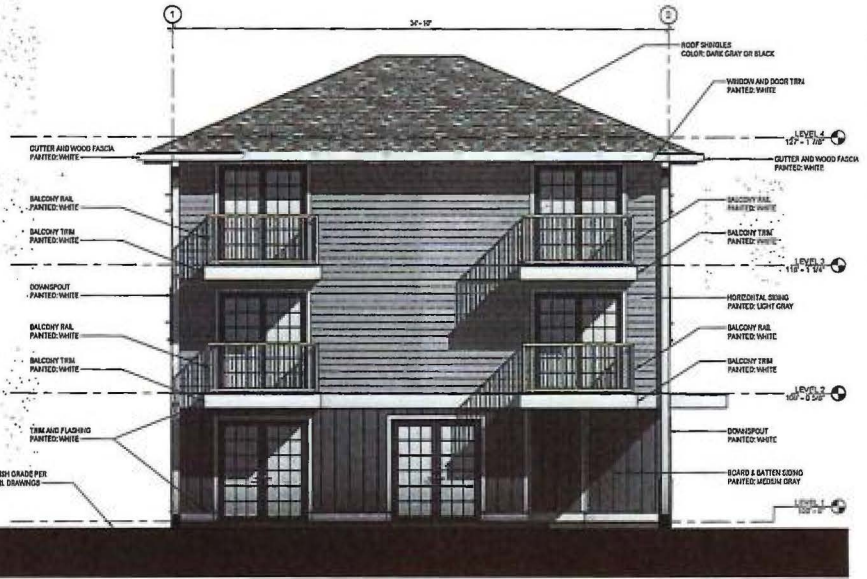
A EXTERIOR ELEVATION - COLOR SCHEME
SCALE: 1/4" = 1'-0"



B EXTERIOR ELEVATION - COLOR SCHEME
SCALE: 1/4" = 1'-0"



C EXTERIOR ELEVATION - COLOR SCHEME
SCALE: 1/4" = 1'-0"



D EXTERIOR ELEVATION - COLOR SCHEME
SCALE: 1/4" = 1'-0"

DATE	BY
REVISION	BY
DATE	BY
DATE	BY
DATE	BY
DATE	BY

OWNER	SCALE
DESIGNER	DATE
PROJECT	BY
DATE	BY
DATE	BY
DATE	BY
DATE	BY

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COLOR SCHEME ELEVATIONS

T1.3
 PROJECT NO.
18605